

# 157-159 HORNSEY PARK ROAD

WOOD GREEN, N8 0JX

FOR SALE FREEHOLD

VRE  
VANDERMOLLEN  
REAL ESTATE



CGI OF PROPOSED SCHEME

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A freehold development opportunity benefitting from planning permission for the creation of 32 private flats and commercial space across two blocks.



CGI OF PROPOSED SCHEME



# Executive Summary

- The site benefits from planning permission, reference: **HGY/2024/0466**, for 'Demolition of existing structures and erection of two buildings to provide residential units and Class E floorspace; and provision of associated landscaping, a new pedestrian route, car and cycle parking, and refuse and recycling facilities'
- The proposed scheme will provide **32 private flats** across two blocks, arranged over ground to fifth floors, plus commercial space
- Block A will comprise **21 apartments** – 3 x studios, 8 x 1-bedroom, 9 x 2-bedroom, and 1 x 3-bedroom flats, with a net saleable area of **1,320.3 sqm (14,212 sq ft)**
- Block B offers commercial space on the ground floor, measuring **96.7 sqm (1,041 sq ft)** with a total of **11 residential apartments** from the first to fourth floor, comprising 4 x 1-bedroom, 4 x 2-bedroom and 3 x 3-bedroom flats with a net saleable area of **752.6 sqm (8,102 sq ft)**
- **Wood Green Underground Station** (Piccadilly Line) is located just 650 metres (0.4 miles) from the site

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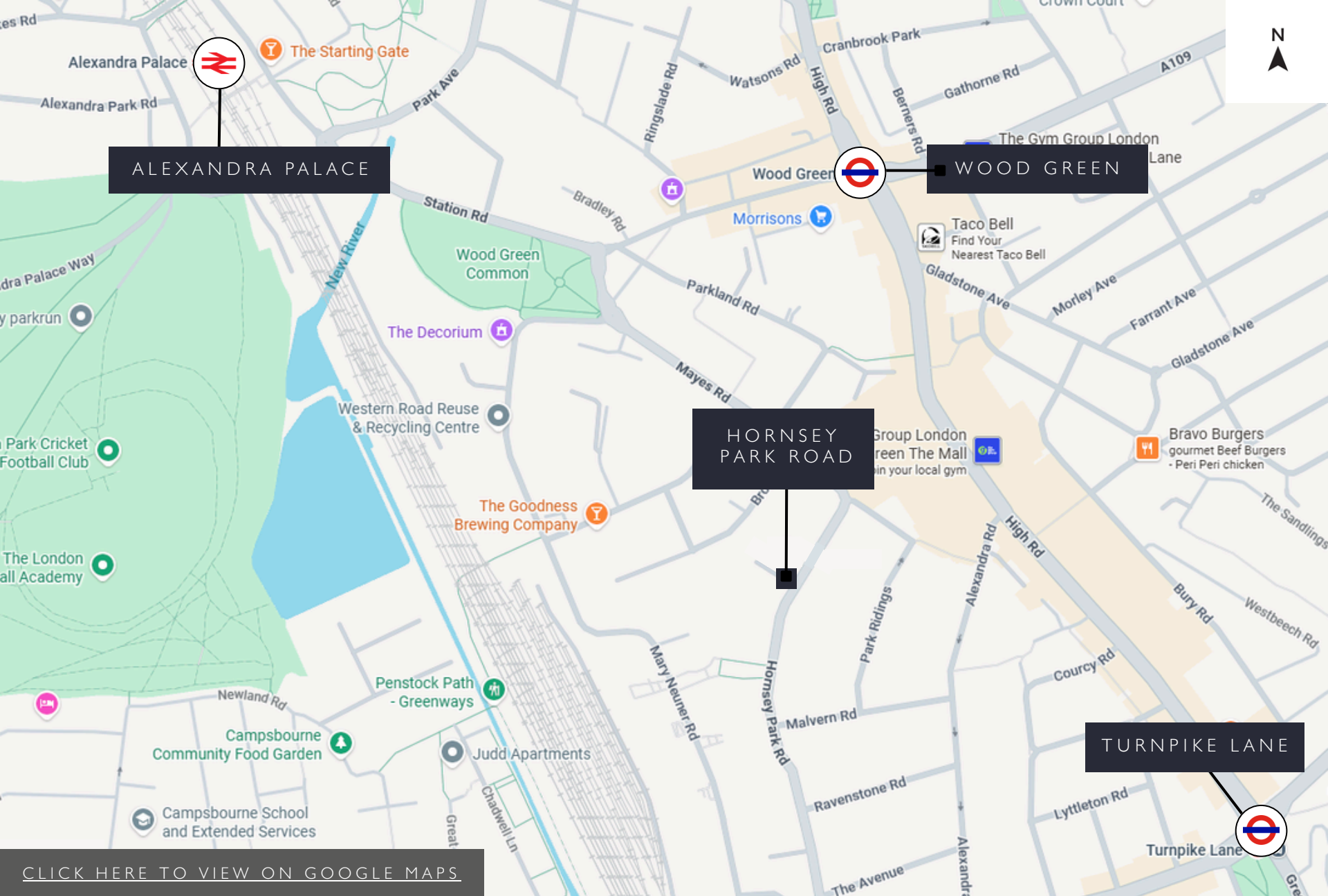
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CGI OF PROPOSED SCHEME



ALEXANDRA PALACE

WOOD GREEN

HORNSEY PARK ROAD

TURNPIKE LANE

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# Location

157-159 Hornsey Park Road is located in Wood Green, which falls under the jurisdiction of the **London Borough of Haringey**.

The site is very well served in terms of access to public transport, with **Wood Green Underground Station** just 650 metres (0.4 miles) to the north, providing direct access to various Central London locations including **Kings Cross St Pancras** (16 minutes), **Leicester Square** (22 minutes), and **Green Park** (25 minutes) via the Piccadilly Line. **Hornsey Railway Station** is 800 metres (0.5 miles) to the south, providing services via Great Northern Rail to Moorgate in 31 minutes. **Alexandra Palace Railway Station** is 0.6 miles (965 metres) to the north of the site, and provides both Thameslink and Great Northern Railway services to Kings Cross in 12 minutes, and Welwyn Garden City in 37 minutes. *(Source: City-Mapper).*

There are also several operational bus routes along the adjacent **Turnpike Lane**, offering services to surrounding areas such as Highgate, Hampstead, Archway and Muswell Hill, amongst various others.

The site benefits from immediate access to many local amenities, with close proximity to The Mall Wood Green (0.3 miles/480 metres) and Wood Green High Road. Both host a wide range of major retailers including Primark, TK Maxx, and Costa Coffee, plus various independent cafes, restaurants, and pubs. The area also boasts several open green spaces such as Wood Green Common, Ducketts Common, and nearby Alexandra Park. Highly-regarded schools can be found close by including North Haringay Primary School (0.7 miles) and Belmont Infant School (2.1 miles).

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MUSWELL HILL

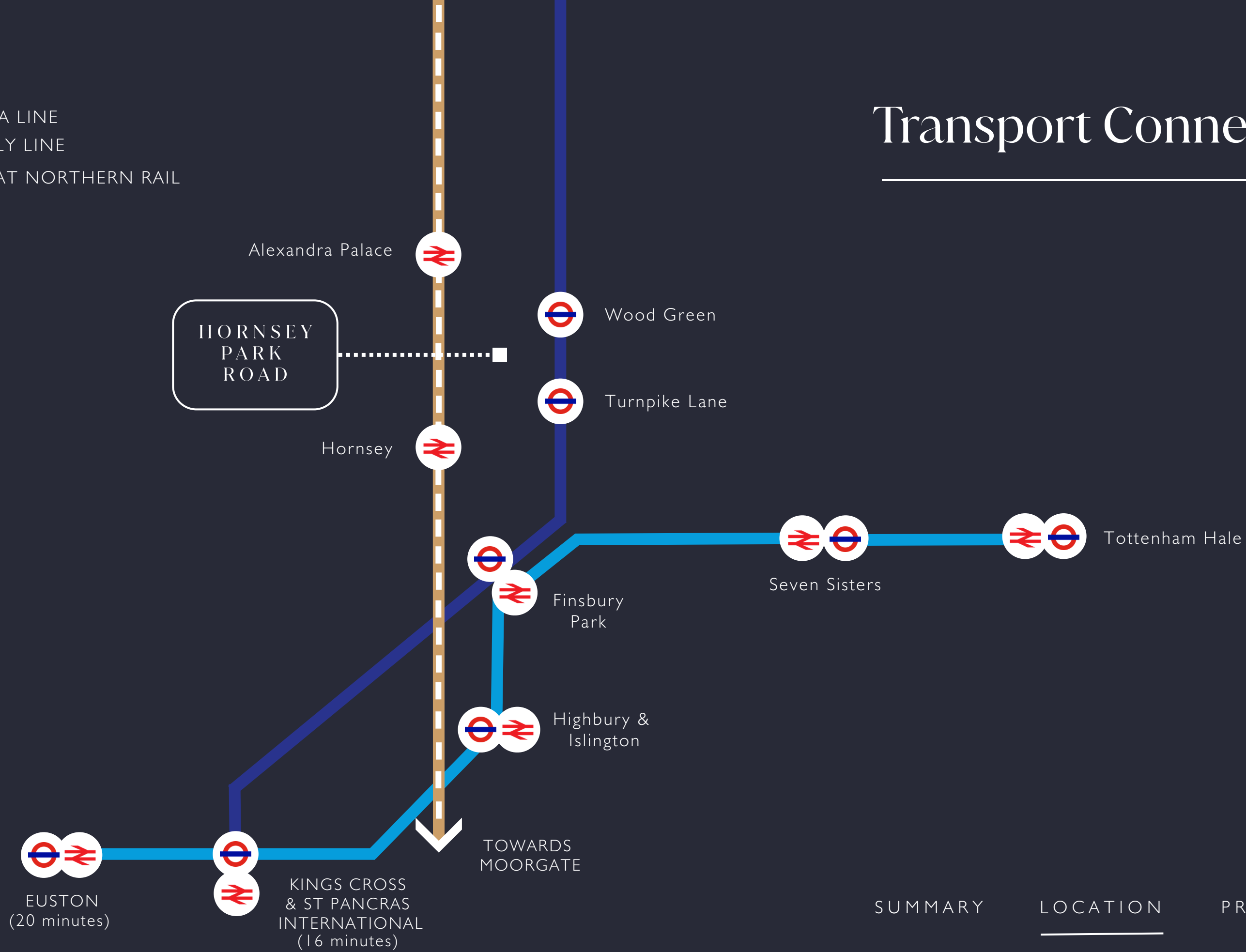


WOOD GREEN COMMON



# Transport Connectivity

- VICTORIA LINE
- PICADILLY LINE
- GREAT NORTHERN RAIL



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# The Property (Existing)

The site is occupied by several light industrial buildings and occupies **0.18 hectares (0.45 acres)**.

Planning permission has been approved, under reference number HGY/2024/0466, for the 'Demolition of existing structures and erection of two buildings to provide residential units and Class E floorspace; and provision of associated landscaping, a new pedestrian route, car and cycle parking, and refuse and recycling facilities.' The proposed scheme will create **32 private flats plus commercial space** across two blocks (Block A & Block B) and will be arranged over ground to fifth floors.

Block A will comprise **21 units**, a mix of 3 x studios, 8 x 1 bedroom, 9 x 2 bedroom and 1 x 3-bedroom units offering a total net saleable area of **1,320.3 sqm (14,212 sq ft)**. Block B will comprise Class E Commercial space on the ground floor, totalling 96.7 sqm (1,041 sq ft). The residential element of Block B will start from the first floor and will comprise of 4 x 1 bedroom, 4 x 2 bedroom and 3 x 3-bedroom apartments (first to fourth floor), equating to a net saleable area of **752.6 sqm (8,100 sq ft)**.

There is a CIL liability of **£411,964** and a Section 106 cost of **£651,025** (index linked) of which **£600,000** is an Affordable Housing Contribution as payment in lieu of affordable housing, to be paid before more than 50% of the flats are occupied.

The site is tenanted. The current lease expires in June 2026; it is outside The Act with a 2 month notice period. A new 12 month lease will be granted on the same terms. The site can be sold with the tennant in situ or with vacnt possession

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EXISTING SITE



EXISTING SITE ENTRANCE



EXISTING SITE



EXISTING SITE

# Site Photos



# Schedule of Accommodation

## BLOCK A

Floor	No.	Beds	Area (sqm)	Area (sq ft)
GF	1	3B/4P	92.2	992
GF	2	2B/3P	73.4	790
GF	3	1B/2P	58.8	633
1	4	1B/2P	51.1	550
1	5	Studio	41.6	448
1	6	2B/4P	73.4	790
1	7	1B/2P	58.8	633
2	8	1B/2P	51.1	550
2	9	Studio	41.6	448
2	10	2B/4P	73.4	790
2	11	2B/4P	73.4	790
3	12	1B/2P	51.1	550
3	13	Studio	41.6	448
3	14	2B/4P	73.4	790
3	15	2B/4P	73.4	790
4	16	1B/2P	56.4	607
4	17	2B/4P	73.4	790
4	18	2B/4P	73.4	790
5	19	1B/2P	56.4	607
5	20	2B/4P	73.4	790
5	21	1B/2P	58.8	633
<b>TOTAL</b>	<b>21</b>		<b>1320.3</b>	<b>14210</b>

## BLOCK B

Floor	No.	Beds	Area (sqm)	Area (sq ft)
GF	Commercial	N/A	96.7	1,041
1	1	2B/4P	71.3	767
1	2	1B/2P	50.8	547
1	3	3B/5P	86.6	932
2	4	2B/4P	71.3	767
2	5	1B/2P	50.8	547
2	6	3B/5P	86.6	932
3	7	2B/4P	71.3	767
3	8	1B/2P	50.8	547
3	9	3B/5P	86.6	932
4	10	2B/4P	73.9	795
4	11	1B/2P	52.7	567
<b>TOTAL</b>	<b>11</b>		<b>752.6</b>	<b>8102</b>



# Floorplan: Ground Floor

BLOCK A



BLOCK B



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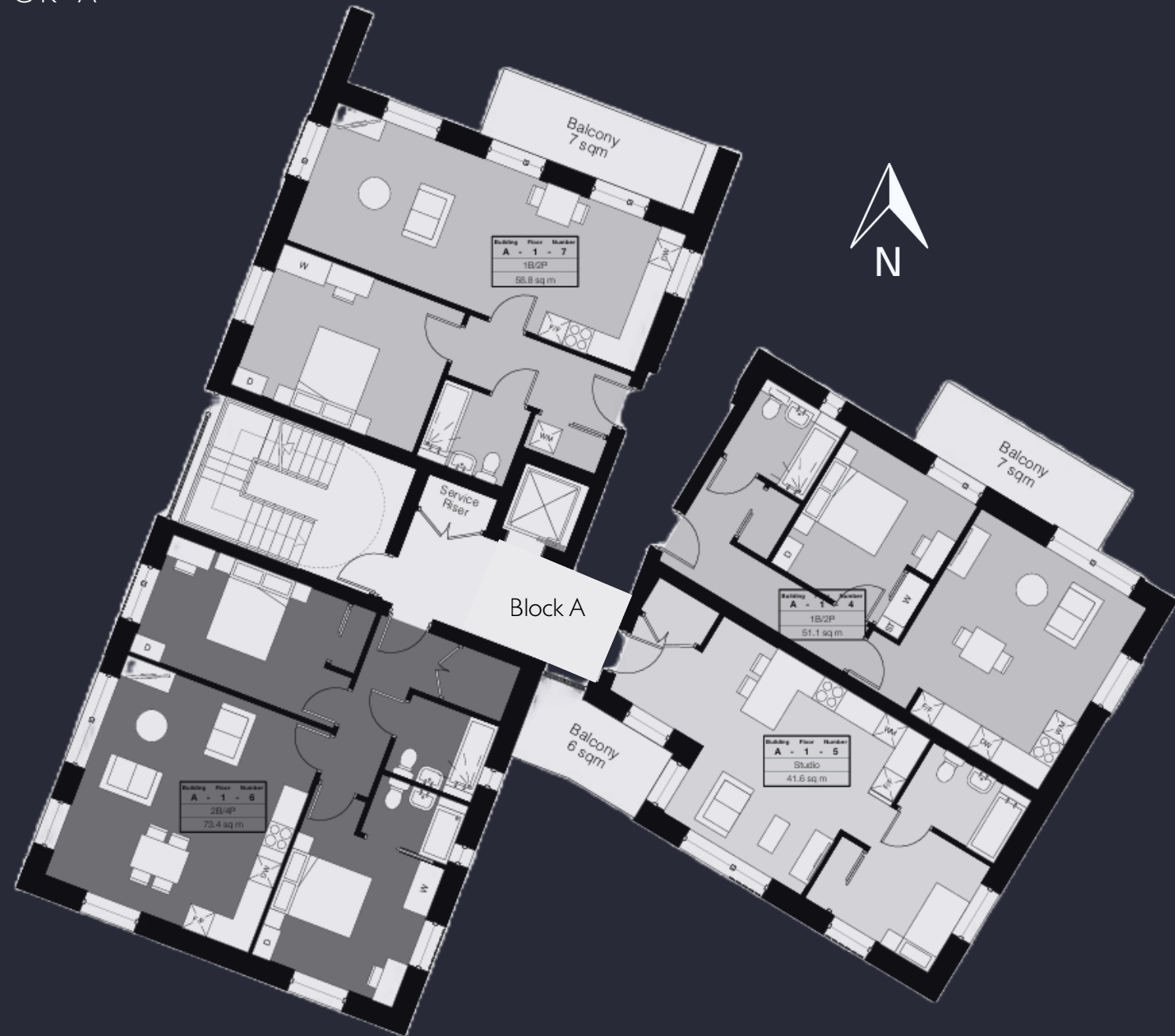
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# Floorplan: First Floor



BLOCK A



BLOCK B



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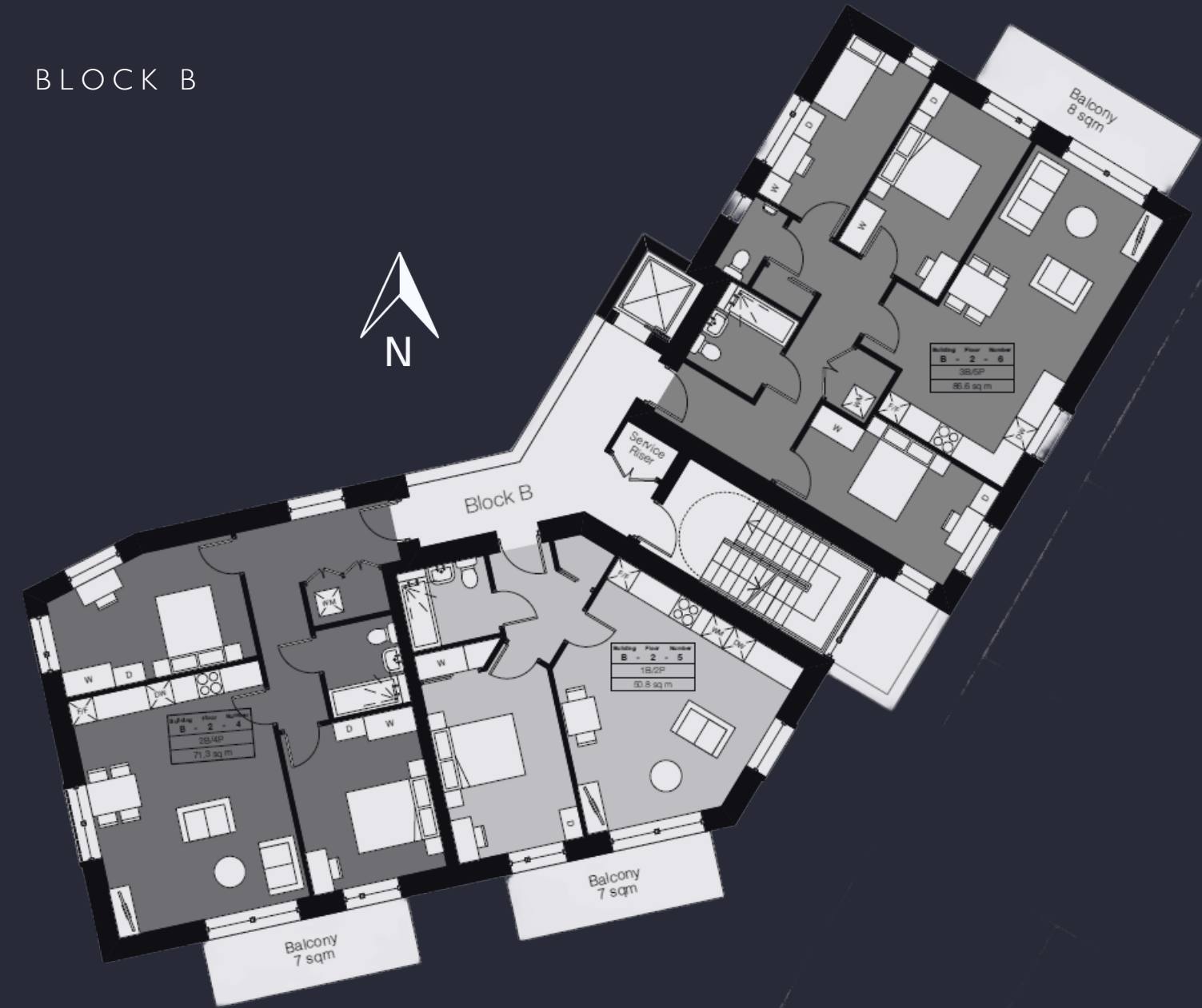
# Floorplan: Second Floor



BLOCK A



BLOCK B



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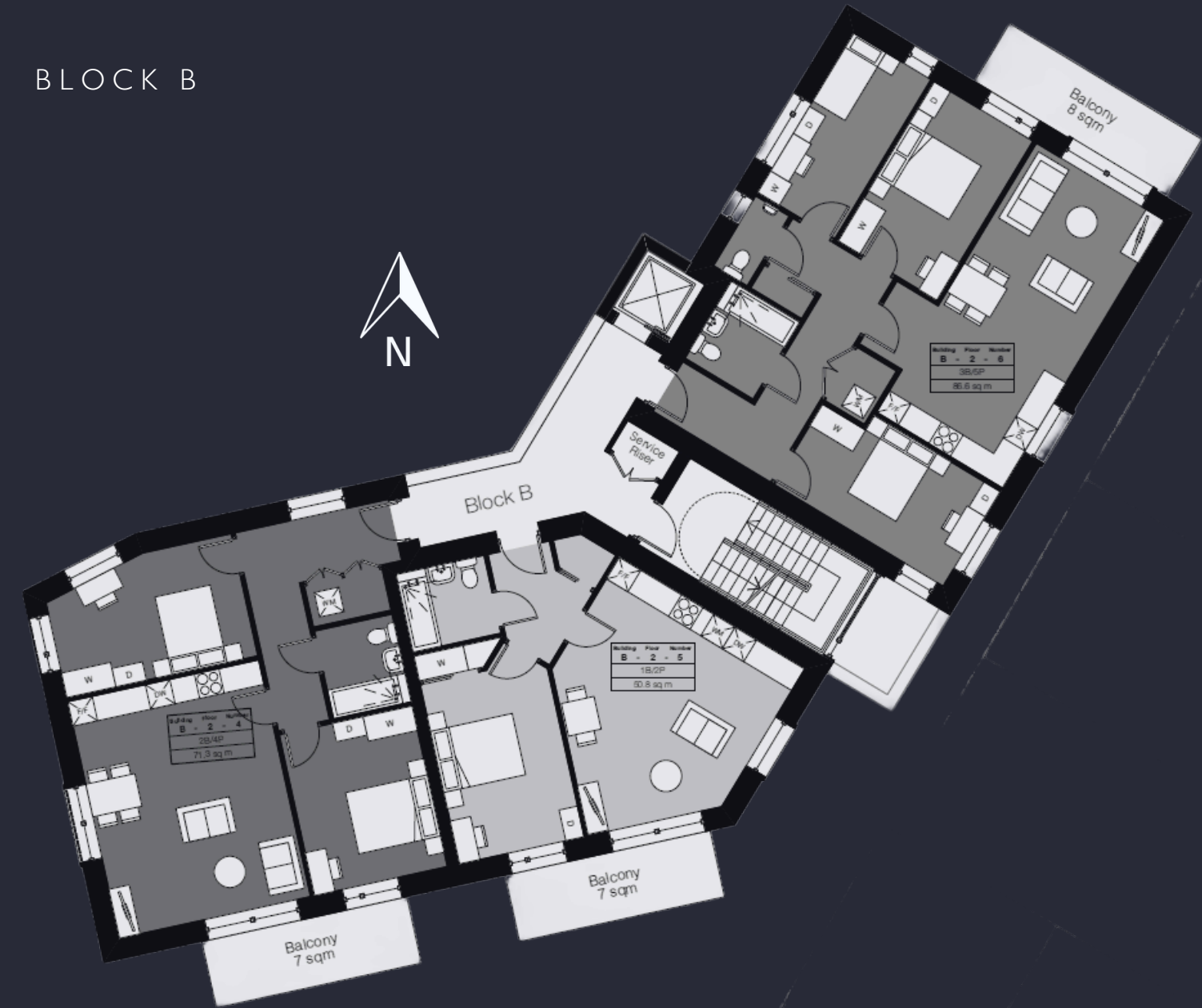
# Floorplan: Third Floor



BLOCK A



BLOCK B



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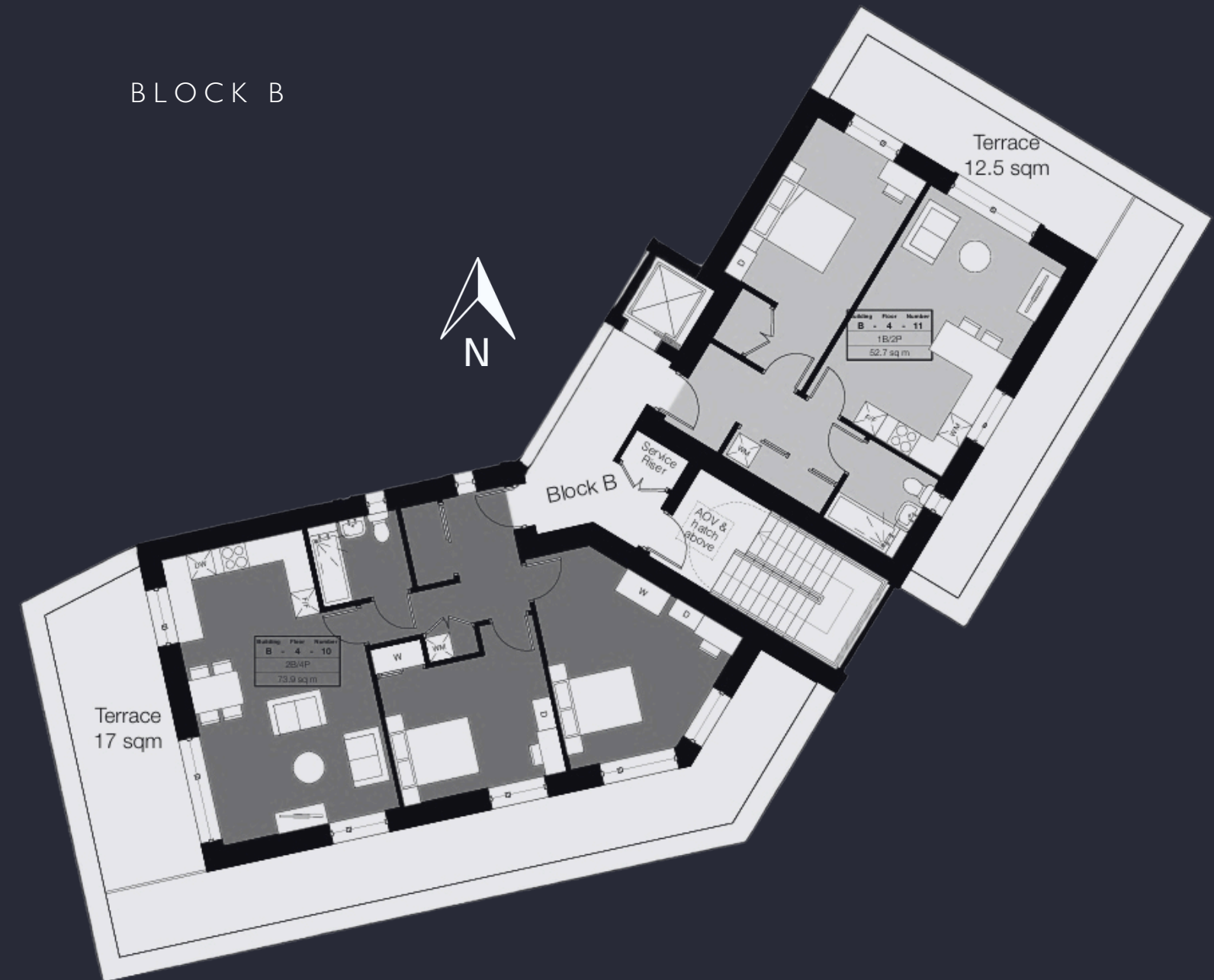
# Floorplan: Fourth Floor



BLOCK A



BLOCK B



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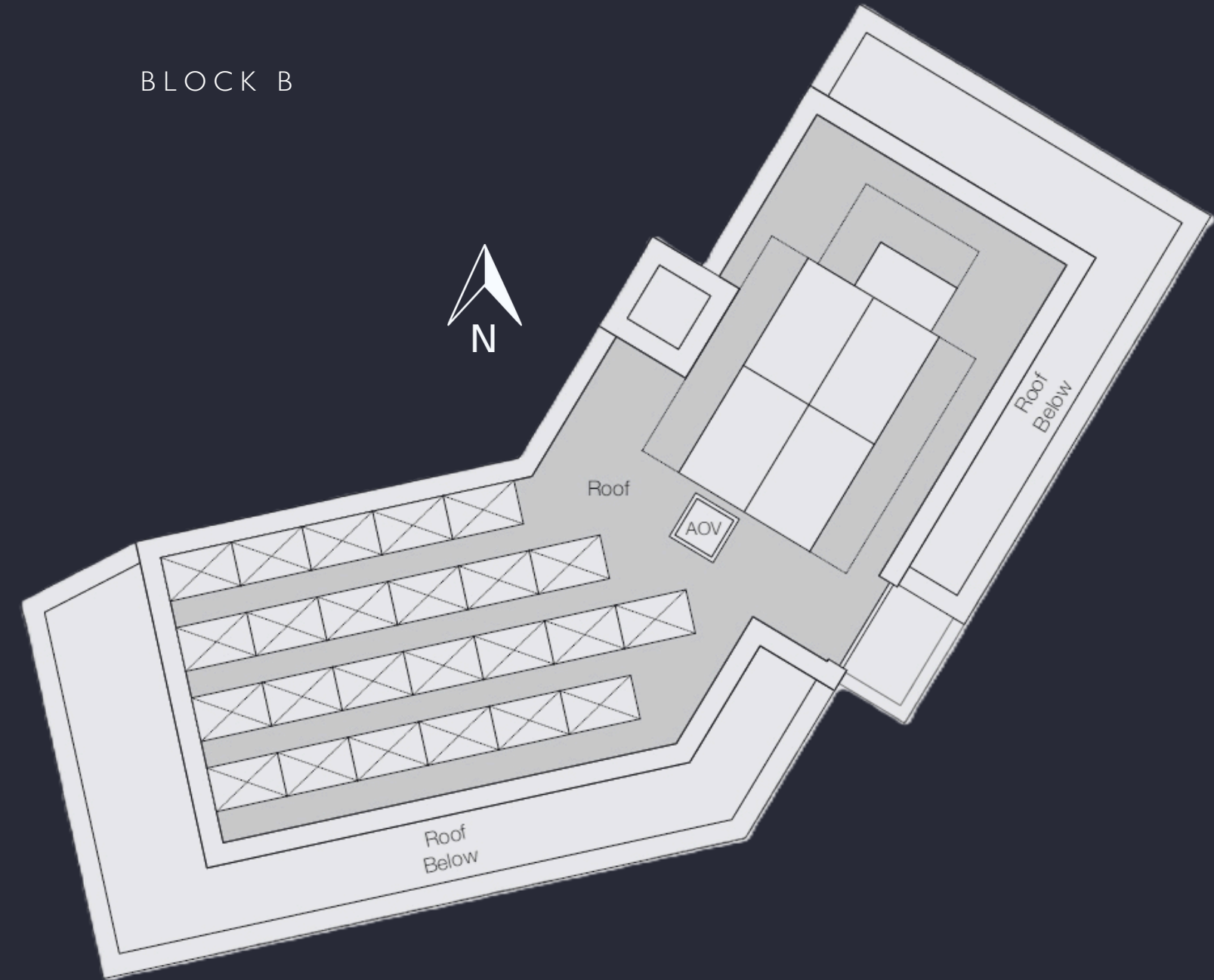
# Floorplan: Fifth Floor



BLOCK A



BLOCK B



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## **Tenure**

The property is will be sold with the tenant in situ or with vacant possession.

## **Method of Sale**

The property is offered for sale by way of Informal Tender with a bids date to be confirmed, unless sold prior.

## **Guide Price**

Price on Application

## **VAT**

TBC

## **Viewings**

Strictly by appointment only. Please contact Vandermolen Real Estate to arrange an inspection.

## **Further information**

Further plans and information are available by clicking here.

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